



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Eric Daems, Senior Planner, eric.daems@slcgov.com or 801-535-7236
Date: March 10, 2021
Re: PLNPCM2020-00661 Design Review

Design Review

PROPERTY ADDRESSES: 119 W 1400 S, 1411 S. Jefferson Street, and 1425 S. Jefferson Street
PARCEL ID's: 15-13-229-006-0000, 15-13-229-007-0000, 15-13-229-002-0000
MASTER PLAN: Central Community
ZONING DISTRICT: CG (General Commercial)

REQUEST:

A request by Mark Garza, representing TLG Company, for **Design Review for Additional Building Height** at approximately 119 W 1400 South, 1411 S Jefferson Street, and 1425 S. Jefferson Street. The applicant is proposing a 78-unit residential building and is requesting an additional 14 feet of height (74' where 60' would be allowed by-right), through the Design Review process.

RECOMMENDATION:

Based on the findings listed in the staff report, it is Planning Staff's opinion that the request for additional building height generally meets the applicable Design Review standards and therefore recommends the Planning Commission approve the request with the following conditions:

1. Alter building entrance along 1400 South to lead into occupiable space and to include more pedestrian-oriented design elements.
2. Revise the ground floor façade along 1400 South to include a solid-to-void ratio of windows and doors more in character with the neighborhood.

ATTACHMENTS:

- A. Vicinity Map
- B. Applicant Submittal & Plan Set
- C. Property and Vicinity Photos
- D. Zoning Analysis
- E. Design Review Analysis
- F. Public Process & Comments
- G. Department Review Comments











Quick Facts	
Property Size:	.45 acres
Height:	74' (7 stories)
Building Length:	130' (along Jefferson Street) 105' (along 1400 S)
Ground Floor Uses:	Lobby, leasing office, parking
Upper Floor Uses:	Residential
Number of Residential Units:	78
Exterior Materials:	Glass, brick, stucco, fiber composite siding, composite vertical board, wood siding, aluminum fascia and parapet cap
Parking:	75 interior stalls
Review Process & Standards:	Design Review, and general zoning standards.

PROJECT DESCRIPTION & BACKGROUND:

The proposal is for a seven story, 78-unit residential apartment building. The building is proposed as 74’ tall and would include studio and 1- bedroom units. 75 parking stalls would be provided interior to the project in the basement, first, and second levels of the building. The parking would be accessed through a single entrance point off Jefferson Street. Above is a rendering of the development and a list of quick facts about the proposal.

The apartment building would replace a triplex which had fallen into severe disrepair and an abandoned automotive repair shop that consisted of two buildings. The property consists of three parcels, however an application to consolidate the parcels has been submitted by the applicant.

The exterior of the building is proposed with alternating brick and stucco bands running vertically from the ground floor. Wood siding is used as an accent material surrounding the ground level windows, in vertical bands, and to highlight the cornices. Black aluminum fascia material helps outline and frame the building. The two-story parking garage uses concrete with a vertical board finish for the first two stories on the north, south, and east elevations. The full list of exterior materials is shown below.

	STUCCO, (MUST COMPLY WITH NFPA 285 NAD ASTM E94 STANDARDS.)		CONCRETE (VERTICAL BOARD FORM FINISH)
	STUCCO, (MUST COMPLY WITH NFPA 285 NAD ASTM E94 STANDARDS.)		WOOD SIDING - OR ALUMINUM WOOD TYPE (SHIP LAP 8 1/4" x 12")
	BRICK		ALUMINUM BREAK METAL FASCIA / PARAPET CAP.
	FIBER COMPOSITE SIDING SYSTEM, VERTICAL ORIENTED		WIRE MESH RAIL

Exterior Materials Legend



West Elevation



North Elevation



East Elevation

Amenities provided for tenants include open-air courtyards on both the 3rd and 7th levels, totaling nearly 4,700 square feet. There will also be a club room available for residents. The courtyards create deep building insets that help break up the building length and mass along the west elevation.

DESIGN STANDARD OVERVIEW AND REQUESTED MODIFICATIONS:

The applicant is going through the Design Review process to request to modify the following:

- Building Height in a CG Zone

Specifically, the applicant seeks an additional 14' of height, for a total of 74'. The CG zone allows buildings up to 60' by-right and up to 90' if approved by the Planning Commission through Design Review.

The Design Review process is intended to ensure high quality outcomes for developments that have modifications to design standards and to achieve development goals/purposes stated in City master plans and the zoning district. For complete analysis and findings in relation to the Design Review standards please refer to Attachment E.

KEY CONSIDERATIONS:

The key considerations listed below were identified through the analysis of the project and in consideration of public comments received:

1) Master plan compliance

The project is located in the People's Freeway neighborhood of the Central Community. Plan Salt Lake includes guiding principles applicable citywide. Applicable goals and objectives of those plans are discussed below.

Central Community

- *Residential land use goals:*
 - *Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population*
 - *Ensure the new development is compatible with the existing neighborhoods in terms of scale, character, and density*

The proposed building will add increased residential density within walking distance of shopping, the Ballpark, and the TRAX station. Studio and 1-bedroom apartments will be available. While there are pockets of lower density zoning in the area, the majority of the surrounding neighborhood is zoned R-MU or CG, which allows a dense mix of land uses. The area includes various apartment buildings and some single-family homes.

The additional building height provides space for an additional level of parking located interior to the building without sacrificing living units or adding a large surface parking area. The additional interior parking will help alleviate parking pressure that may otherwise spill into nearby neighborhoods.

The CG zoning designation allows for a building height of 60' by-right and up to 90' through Design Review approval. The property has CG zoning to the west and the north, R-MU to the south, and RMF-35 to the east. Future re-development within the CG zoned areas would also be eligible for building heights of 60', or 90' through Design Review. The R-MU zoned property would allow for a building height of 75' by-right, or up to 125' through Design Review. Only the RMF-35 zoned properties to the east would have lower allowed building heights, with a maximum allowed height of 35'. The additional 14' building height should not create undue impacts that would not be created with a 60' building within the CG zone or 75-125' tall building in the adjacent R-MU zone.

If the building is not approved for additional height, it would not need to comply with the more stringent Design Review standards. The Design Review standards help ensure a building that is more attractive and compatible overall.

- *Urban Design policies:*
 - *Administer urban design through zoning regulations where possible.*

The CG zone includes very few design standards. By proposing the additional height, the building is required to comply with additional design criteria as outlined in Attachment E of this report. Although the design standards are still limited, the Design Review process ensures a better project than would otherwise be required.

Plan Salt Lake

1/ Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the wellbeing of the community therein.

The project would contribute to a safe environment by adding “eyes on the street”. The building includes private balconies along 1400 South and outdoor courtyard space on two different levels facing Jefferson Street. The courtyards would provide greater interaction with the street as residents gather, socialize, and recreate in the space. The building also proposes pedestrian level lighting along the sidewalk to provide space for interaction and added security.

2/ Growing responsibly while providing people with choices about where they live, how they live, and how they get around.

3/ Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics.

The property is well connected by multiple transportation choices as it is located less than two blocks from the TRAX station, is serviced by numerous nearby bus routes, and has excellent access to surface streets and I-15. The project includes 74 total units as both studio and 1-bedroom apartments. It should provide needed additional housing choice in a largely built-out neighborhood.

6/ Minimize our impact on the natural environment.

The compact nature of the project combined with the proximity to TRAX and bus routes provides opportunity for reduced carbon emissions through the use of mass transit. The area has a wide range of land uses that encourage walking.

2) Does the proposed design meet the limited standards applicable to the CG zone as found in Design Standards (21A.37) or Design Review (21A.59)?

As shown in Attachment D of this report, Design Standards (21A.37) related to the CG zone are limited to the following:

1. Building entrances (at least 1 operable opening per street-facing façade)
2. Parking lot lighting must be shielded to adjacent residential properties.

Along Jefferson, the proposal largely meets those requirements. However, more could be done with the entry along 1400 South to meet the intent of the code.

The term “operable” is not defined in our code. Webster’s dictionary defines it as “fit, possible, or desirable to use”. Although the door facing 1400 South is possible to use, more could be done to make it desirable to use. Staff is recommending that the door lead into occupiable space. That could include a lobby or other common area. The

entry could also be better defined with materials, awnings, windows, or other design elements.

The parking area is located interior to the building and lighting will not cast onto adjacent properties.

Attachment E provides an analysis of the more stringent Design Review standards that come into play due to the request for additional building height. They too are minimal in the GG zone when compared to some other zoning designations. The common theme in the applicable Design Review standards is to relate the building to the human scale. Staff is recommending this be done along the ground floor of the north façade by more appropriately reflecting the solid-to-void ratio of neighboring properties. This could be accomplished by adding windows or doors, using higher quality materials, or by adding pedestrian scale features like awnings. Some examples of ground floor solid-to-void ratios in the vicinity are provided below:



Neighborhood examples for solid-to-void ratio along ground floor

DISCUSSION:

In general, the proposal meets the intent of the General Commercial zoning district and is compatible with the various master plans of the city. Subject to the additional conditions as recommended by Staff, the height modification requested is sufficiently mitigated with the proposed design elements intended to enhance the pedestrian experience.

NEXT STEPS:

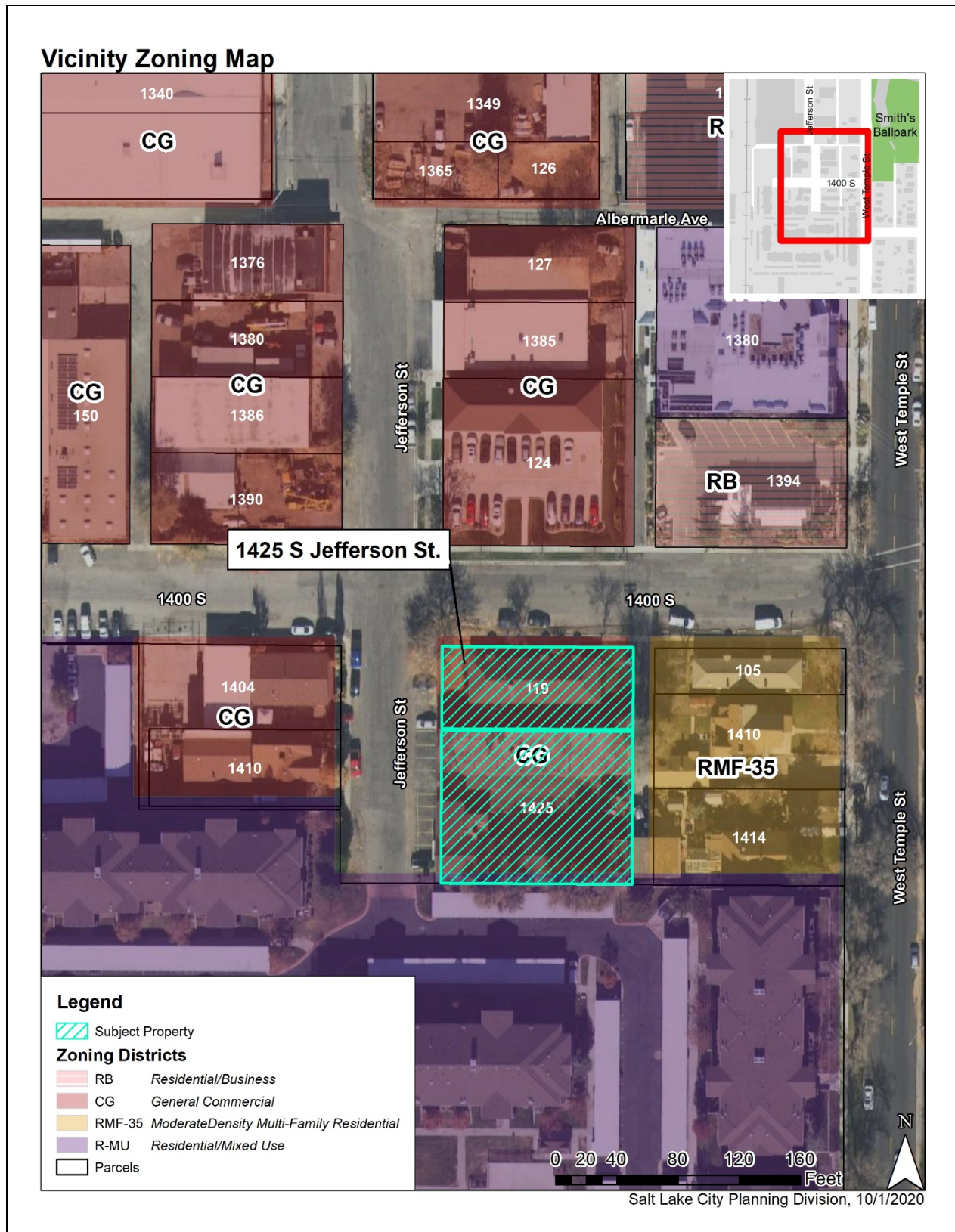
Approval of Design Review

If the requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. A parcel combination or new subdivision plat will need to be approved and recorded on the subject property. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings once all conditions of approval are met.

Denial of Design Review

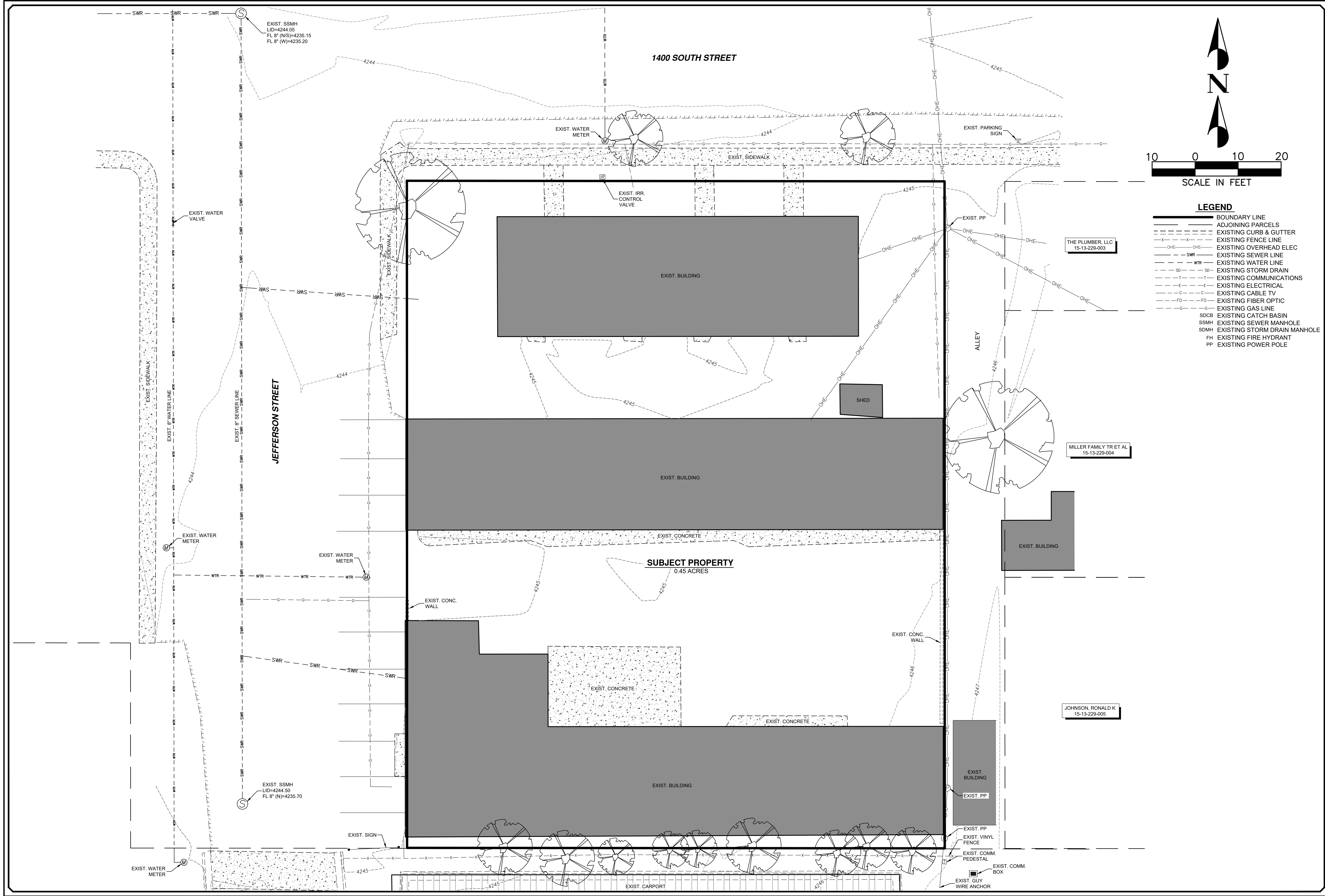
If the design review request for is denied, the applicant will still be able to develop the property by right, but at a smaller scale. Specifically, the building would need to be below 60' in height as allowed in the CG zone. A parcel combination or subdivision plat will still need to be approved and recorded for the subject property. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings subject to meeting all applicable zoning requirements and requirements of other divisions.

ATTACHMENT A – VICINITY MAP



ATTACHMENT B – APPLICANT SUBMITTAL & PLAN SET





RUECO, LLC	
ALTA/NSPS SURVEY	
1425 SOUTH JEFFERSON STREET	
SALT LAKE CITY, UTAH 84115	
MARCH 27, 2020	1408.2010.DWG
LAST REVISED	PROJECT NUMBER
SURVEY ALTA-02	
DRAWING FILE	
SALT LAKE CITY	
SHEET NO. 2/2	

PEPG CONSULTING LLC	
9270 SOUTH 300 WEST • SANDY, UT 84070	
PHONE: (801) 562-2521 • FAX: (801) 562-2551	
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT	
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS	

DATE	DESCRIPTION	NO.	APP'D.
03/2020	PEPG CREW	BOB	N/A
03/2020	BOB	N/A	RSL
03/2020	DESIGNED BY:	N/A	RSL
03/2020	CHECKED BY:	N/A	RSL
03/2020	SCALE:	1"=10'	RSL

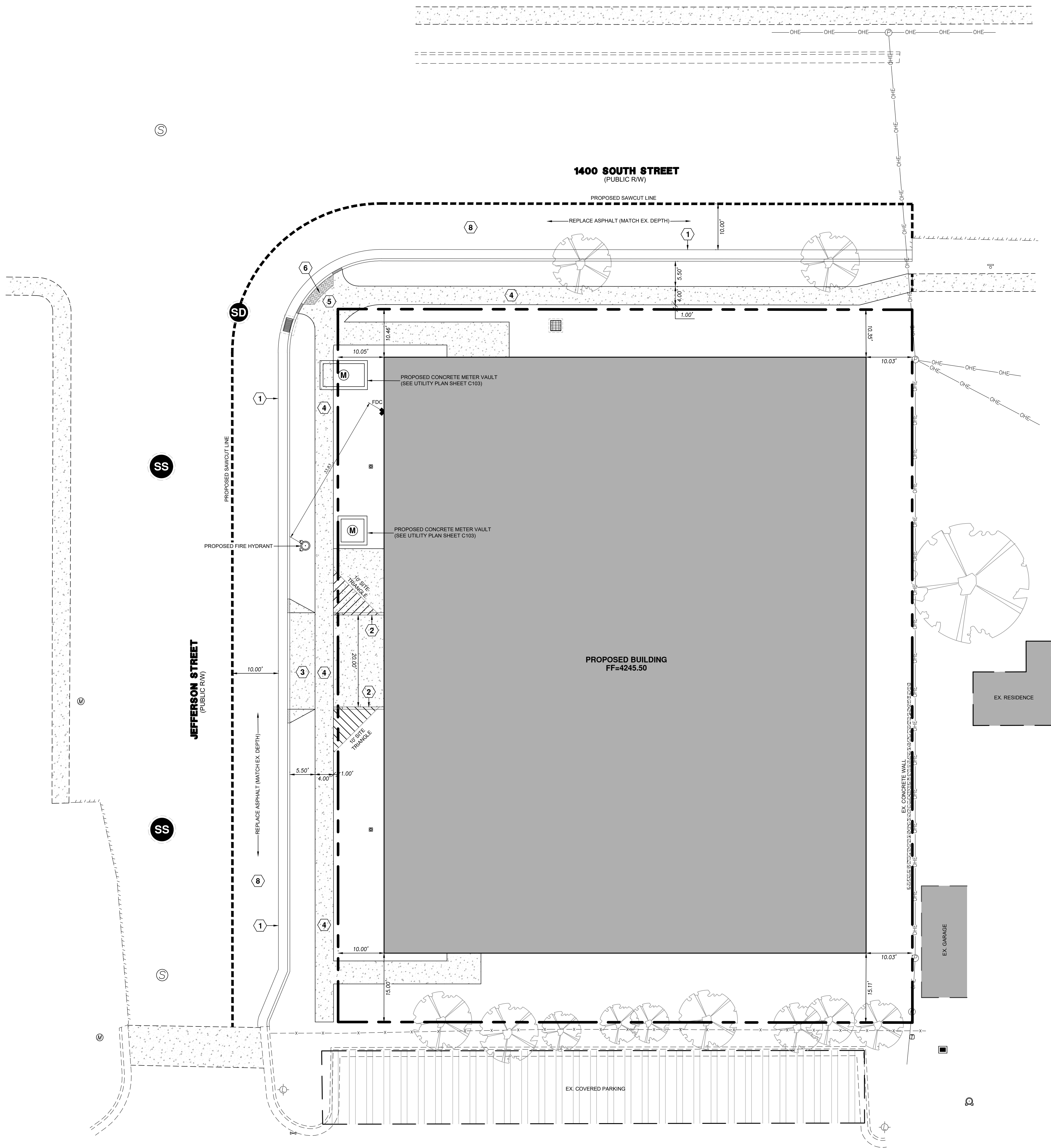
LEGEND

- BOUNDARY LINE
- ADJOINING PARCELS
- EXISTING CURB & GUTTER
- EXISTING FENCE LINE
- EXISTING OVERHEAD ELEC
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM DRAIN
- EXISTING COMMUNICATIONS
- EXISTING ELECTRICAL
- EXISTING CABLE TV
- EXISTING FIBER OPTIC
- EXISTING GAS LINE
- SDCB EXISTING CATCH BASIN
- SSMH EXISTING SEWER MANHOLE
- SDMH EXISTING STORM DRAIN MANHOLE
- FH EXISTING FIRE HYDRANT
- PP EXISTING POWER POLE

THE PLUMBER, LLC
15-13-229-003

MILLER FAMILY TR ET AL
15-13-229-004

JOHNSON, RONALD K
15-13-229-005



LEGEND	
	PROPOSED BOUNDARY
	EXISTING BUILDING
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING EDGE OF ASPHALT
	EXISTING FENCE
	PROPOSED BUILDING
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED FENCE
	PROPOSED SAWCUT LINE

- NOTES**
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - ALL WORK SHALL ALSO COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL REPORT, WHICHEVER IS MORE STRINGENT.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR LANDSCAPING DETAILS.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS, AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON OR ADJACENT TO A PUBLIC ROAD TO PROVIDE, INSTALL, AND MAINTAIN APPROPRIATE TRAFFIC CONTROL DEVICES; AS WELL AS ANY ADDITIONAL TRAFFIC CONTROL DEVICES THAT MAY BE REQUIRED TO ENSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC AND PEDESTRIANS THROUGH OR AROUND THE WORK AREA AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD WORKERS.
 - PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY, A LICENSED, INSURED AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARD PLANS AND SPECIFICATIONS.
 - ALL TREE REMOVAL AND PLANTING IN THE PUBLIC RIGHT OF WAY REQUIRES A PERMIT AND SHALL COMPLY WITH SALT LAKE CITY URBAN FORESTRY TREE PROTECTION AND PRESERVATION POLICY.
 - ALL GROUND MOUNTED UTILITY BOX LOCATIONS SHALL COMPLY WITH SLC STANDARDS, SPECIFICATIONS AND ORDINANCES. COORDINATE WITH UTILITY SERVICE COMPANIES FOR LOCATIONS.

- KEYNOTE LEGEND**
- TYPE A, 30" HIGH BACK CURB & GUTTER PER APWA PLAN #205.1 REQ'D (SEE DETAIL B ON SHEET C108)
 - TYPE P, 6" HIGH BACK CURB PER APWA PLAN #209 REQ'D (SEE DETAIL B ON SHEET C108)
 - FLARED DRIVEWAY APPROACH PER APWA PLAN #221.1 REQ'D (SEE DETAIL C ON SHEET C108)
 - 4" CONCRETE SIDEWALK PER APWA PLAN #231 REQ'D (SEE DETAIL D ON SHEET C108)
 - CORNER CURB CUT ASSEMBLY PER APWA PLAN #235.1 REQ'D (SEE DETAIL E ON SHEET C108)
 - DETECTABLE WARNING SURFACE PER APWA PLAN #238 REQ'D (SEE DETAIL F ON SHEET C108)
 - 8" CONCRETE AT DUMPSTER DRIVEWAY, SIDEWALK, AND APPROACH APRON REQ'D (SEE DETAIL A & DETAIL C ON SHEET C108)
 - REPAIR ASPHALT PER APWA PLAN #255 REQ'D (SEE DETAIL G ON SHEET C108)

BENCHMARK
FOUND STREET MONUMENT (FLAT BRASS)
1700 SOUTH & MAIN ST INTERSECTION
ELEVATION=4255.575
(NAVD88)



TRADITION POINTE APARTMENTS		1425 JEFFERSON ST		SITE PLAN	
SALT LAKE CITY		DECEMBER 4, 2020		LAST REVISED	
PRELIMINARY NOT FOR CONSTRUCTION		1408 2010		PROJECT NUMBER	
SHEET NO. C102		DWG. 102-SITE-01		DRAWING FILE	

DATE	DESCRIPTION
4/20	ORIG. DATE
TRC	SUPV. BY: RECD. CREW
TRC	DRAWN BY: TRC
TRC	DESIGNED BY: TRC
TRC	CHECKED BY: TRC
1"=10'	SCALE

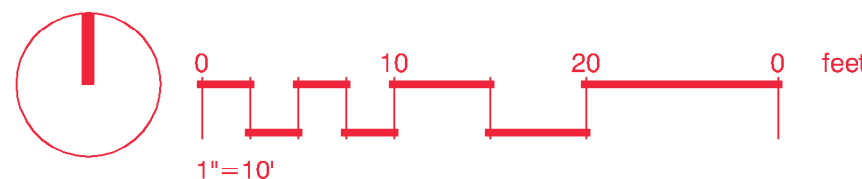
PEPG CONSULTING
9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2521 • FAX: (801) 562-2551
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

DECIDUOUS TREES

<u>SYMBOL</u>	<u>SITE LAYOUT DESCRIPTION</u>	<u>QTY</u>	<u>DETAIL</u>
<u>L-01</u>	BIKE RACK LOCATION - PER CITY STANDARD		
<u>SYMBOL</u>	<u>PLANTING DESCRIPTION</u>	<u>QTY</u>	<u>DETAIL</u>
<u>PL-01</u>	TURF AREA (TYP.)		
<u>PL-02</u>	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)		
<u>PL-03</u>	GROUND COVER AREA WITH BARK MULCH (TYP.)		

SUMMARY DATA

**PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN
THE PUBLIC WAY REQUIRES APPROVAL FROM
THE SLC URBAN FORESTRY (972-7818)**



C
TRADITION POINTE
1425 SOUTH JEFFERSON STREET
SALT LAKE CITY, UT 84115

beecheerwalker
Architecture/Interiors

3115 EAST LION LANE #200
HOLLADAY, UTAH 84121

o. 801.438.9500
f. 801.438.9501

BE
B

LANDSCAPE PLAN

DRAWING NUMBER

L101

This drawing is an illustration of proposed landscape and is not a representation of an existing site. It is intended to provide a visual representation of the proposed landscape design. It is not intended to be used for construction purposes. All dimensions and quantities are approximate and subject to change without notice. The design is based on the information provided to the architect and is not a representation of an existing site. It is intended to provide a visual representation of the proposed landscape design. It is not intended to be used for construction purposes. All dimensions and quantities are approximate and subject to change without notice.

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SUMMARY DATA

TOTAL SITE:22,381 SF

OPEN SPACE AREA:11,545 SF

TOTAL VEGETATED AREA:3,361 SF

PARK STRIP TREES REQUIRED/PROVIDED:

1400 SOUTH STREET4 REQUIRED/5 PROVIDED

JEFFERSON STREET5 REQUIRED/5 PROVIDED

DROUGHT TOLERANT TREES AND SHRUBS(90% MINIMUM):

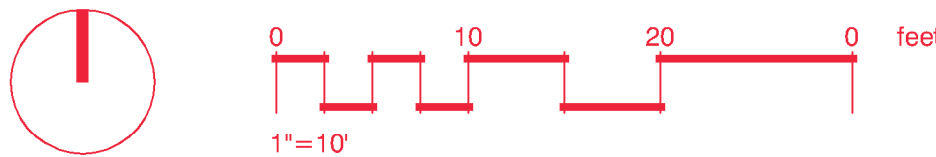
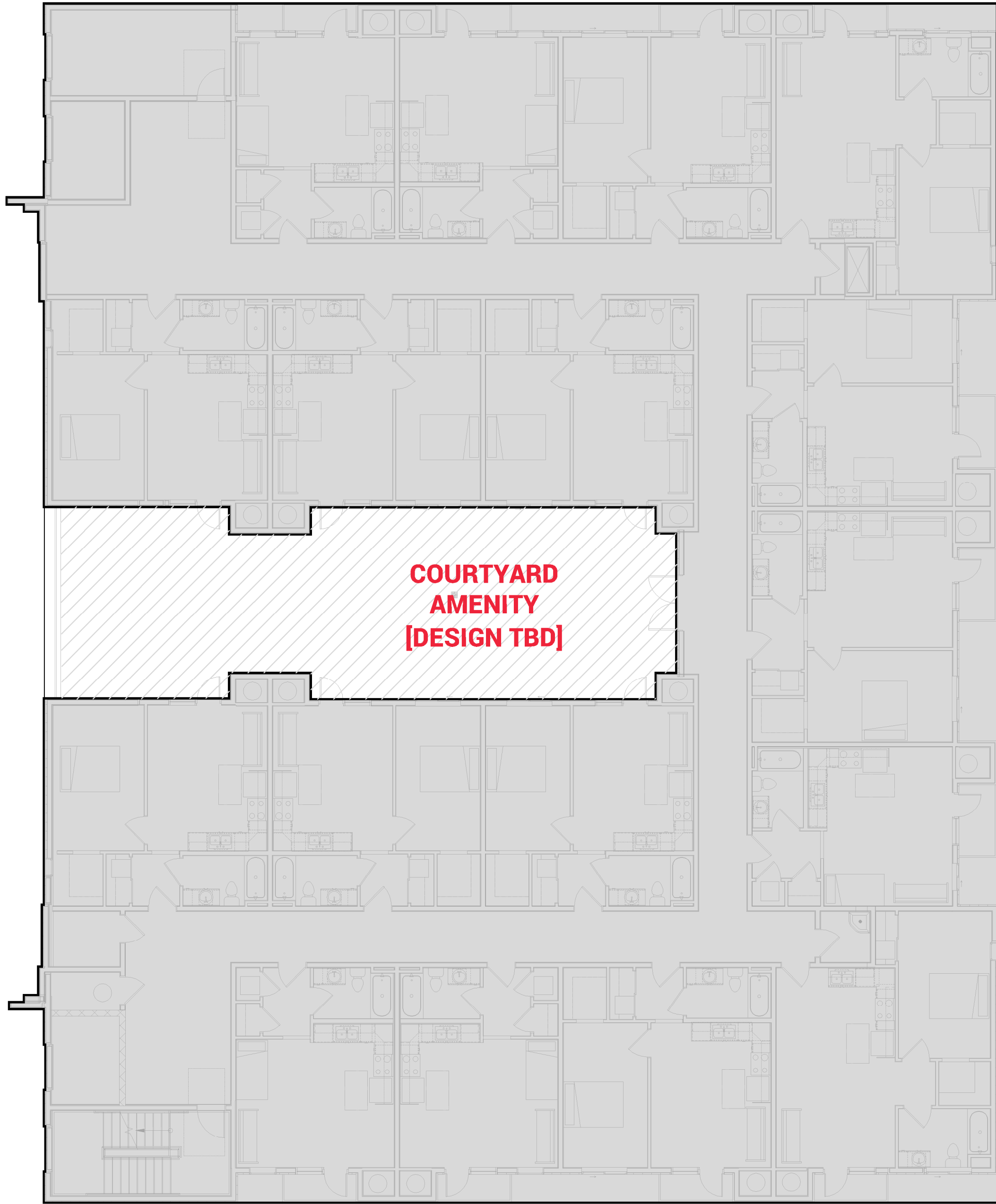
TREES: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

SHRUBS: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN

THE PUBLIC WAY REQUIRES APPROVAL FROM

THE SLC URBAN FORESTRY (972-7818)



ISS. DATE	#	REV. DESCRIPTION	REV. DATE
5/27/2020	1	SD SET	

D

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TRADITION POINTE
1425 SOUTH JEFFERSON STREET
SALT LAKE CITY, UT 84115

beecherwalker
Architecture/Interiors
P. 801.438.9500 | 3115 EAST LION LANE #200
F. 801.438.9501 | HOLLADAY, UTAH 84121
BEECHERWALKER.COM

PROJECT NUMBER	2021
DWN BY	CHKD BY
KCF	BAR
SD SET	

LANDSCAPE PLAN

DRAWING NUMBER
L102

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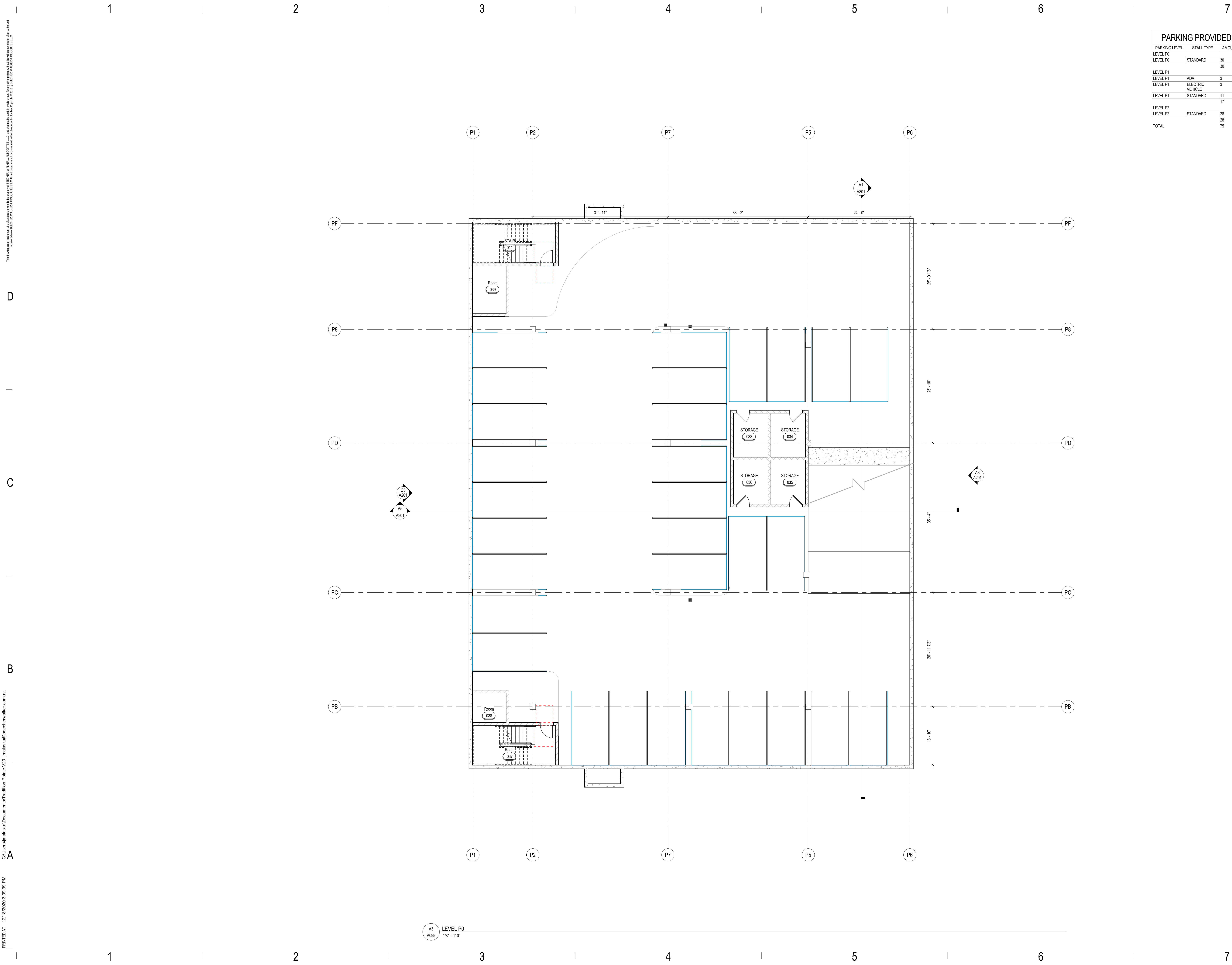
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REV.	DATE	DESCRIPTION
1	8-11-2020	SITE PLAN REVIEW
2	5-27-2020	SD SET

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TRADITION POINTE
1425 SOUTH JEFFERSON STREET
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BWA
ARCHITECTS
T 801.438.5500
F 801.438.5501
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HOLLADAY, UTAH 84121
BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
JM
CHKD BY
Checker
SITE PLAN REVIEW

PARKING LEVEL P0

DRAWING NUMBER

A098

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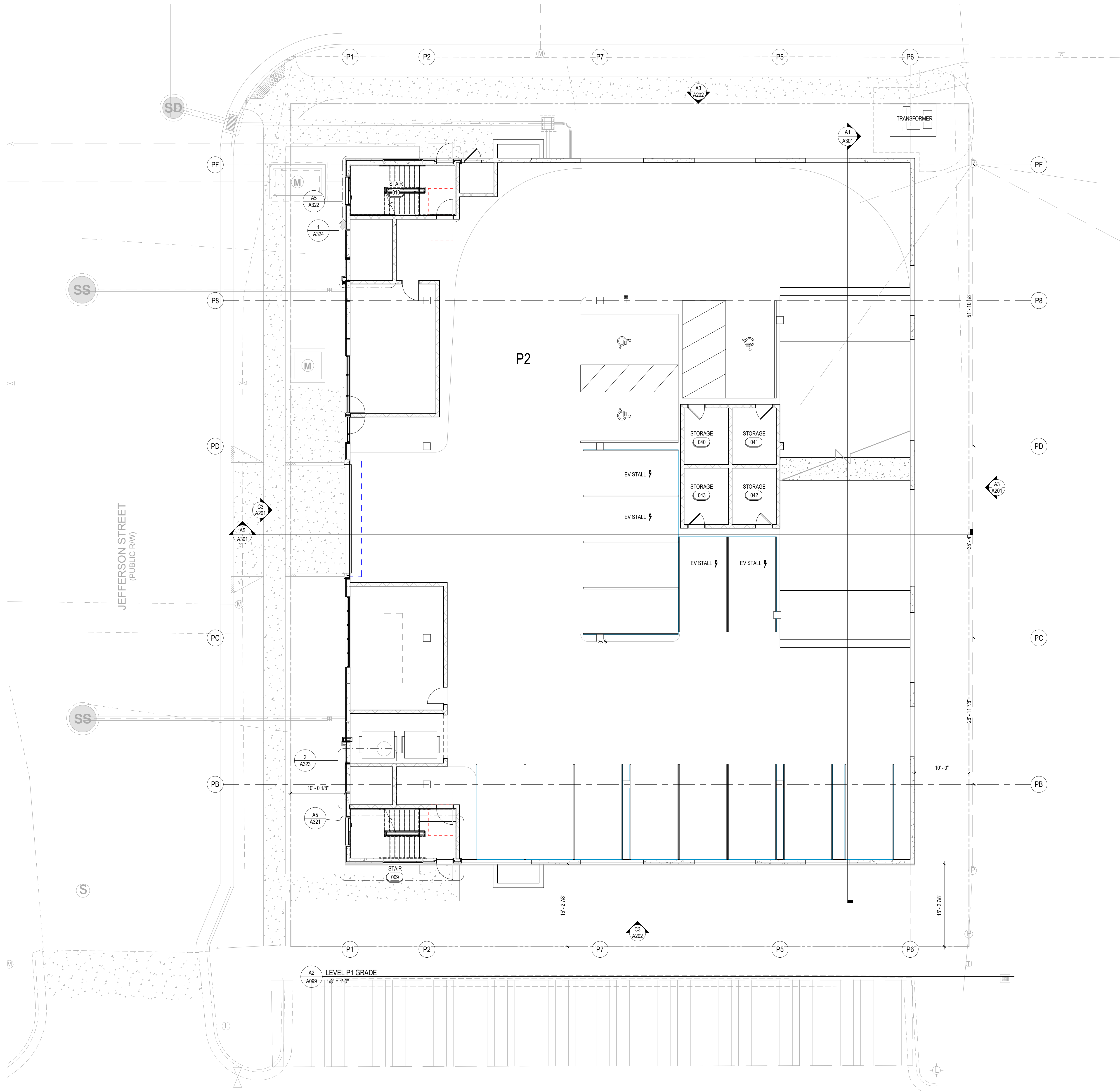
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PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0		
	STANDARD	30
LEVEL P1		
	ADA	3
	ELECTRIC VEHICLE	3
	STANDARD	11
		17
LEVEL P2		
	STANDARD	28
TOTAL		75

MARK	ISSUE DESCRIPTION	ISS DATE	#	REV DESCRIPTION	REV DATE
2	SITE PLAN REVIEW	8-11-2020			
1	SD SET	5-27-2020			

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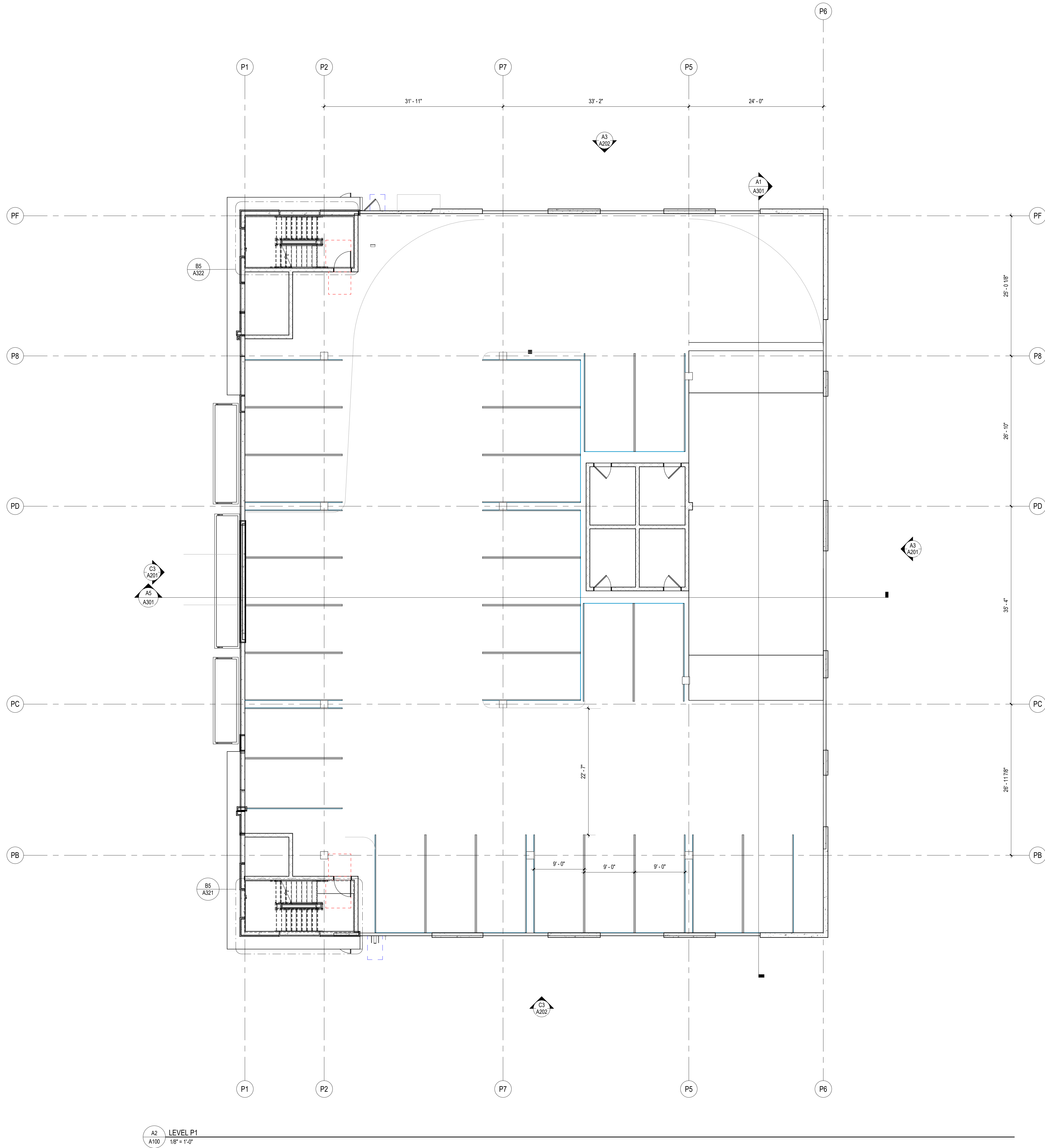
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PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0		
LEVEL P0	STANDARD	30
LEVEL P1		
LEVEL P1	ADA	3
LEVEL P1	ELECTRIC VEHICLE	3
LEVEL P1	STANDARD	11
LEVEL P2		
LEVEL P2	STANDARD	126
LEVEL P2		28
TOTAL		75

REV.	DATE	DESCRIPTION
1	8-11-2020	SITE PLAN REVIEW
2	5-27-2020	SD SET

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TRADITION POINTE
1425 SOUTH JEFFERSON STREET
SALT LAKE CITY, UT 84115

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3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121
BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
JM
CHKD BY
Checker
SITE PLAN REVIEW

PARKING LEVEL P2

DRAWING NUMBER
A100

This drawing is an integral part of the project and shall not be used in whole or in part for any other project without the written permission of the architect.

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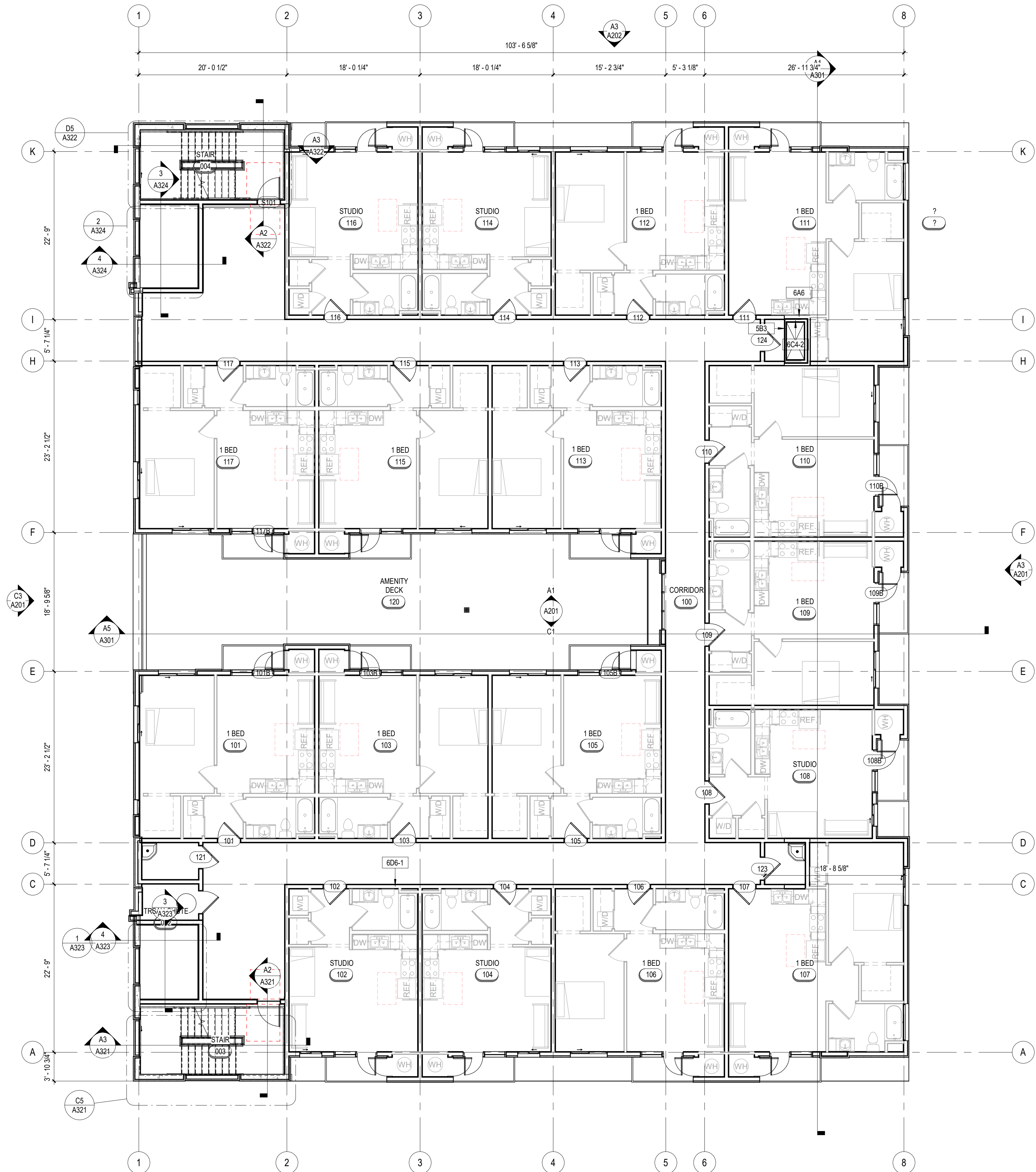
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A2 LEVEL 1 FLOOR PLAN
A101 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES:

1. B-B BUILDING TYPE REQUIRES ALL EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIAL. FIRE RETARDANT-TREATED WOOD FRAMING AND SHEATHING SHALL BE IN ACCORDANCE WITH UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS AND SHOW NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION WHEN THE TEST IS CONTINUED FOR AN ADDITIONAL 20-MINUTE PERIOD. THE FLAME FRONT SHALL NOT PROGRESS MORE THAN 10.5 FEET BEYOND THE CENTERLINE OF THE BURNERS AT ANY TIME DURING THE TEST.
2. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF SUBSTRATE, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
3. DO NOT SCALE DRAWINGS.
4. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
5. PROVIDE 4'-0" X 4'-0" OF SOLID WOOD BACKING BEHIND ALL TV LOCATIONS IN UNITS, COMMON AREAS AND CORRIDORS.
6. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT. SEE FIRESTOPPING DETAIL SHEETS A514, A515.
7. ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLIES. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
8. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
9. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
10. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
11. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECT'S APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
12. ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
13. IN ALL UNITS - REINFORCING & OR BLOCKING FOR GRAB BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS.
14. PRE-ROCK RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEETS.
15. ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANSI A117.1-2010 (SEE SHEET 0202). 2% WILL BE TYPE 'A' UNITS THE REMAINING WILL BE TYPE 'B' UNITS.
16. ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IBC 1406.3 EXCEPTION 3.
17. FIRE DEPARTMENT STANDPIPE EQUIPMENT IS NOT TO ENCRUMPH INTO THE STAIR LANDING BEYOND THE RADIUS EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDING WIDTH.
18. EXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOWS/DOORS AS PER 2018 IMC.
19. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED WITH SPRINKLER PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.
20. FOR TYPICAL WALL FIRE PROTECTION DETAILS, SEE SHEET A513. FOR TYPICAL PROTECTION DETAILS AROUND COLUMNS AND BEAMS, SEE SHEET A511.
21. PROTECT EXTERIOR REFRIGERANT PIPING INSULATION. IECC R408.2.8.1.
22. AIR BARRIER COMPLIANCE WILL BE ATTAINED USING IECC R402.2.4.1.
23. HORIZONTAL ASSEMBLIES BETWEEN UNITS SHALL RECEIVE R-11 BATT INSULATION. SEE ASSEMBLIES A621.
24. ALL PENETRATIONS MUST BE SEALED TO MEET CONTINUOUS AIR/WEATHER BARRIER REQUIREMENTS. SEE SHEET A513 FOR DRYVIT STUCCO SILING PENETRATION DETAILS.

LEGEND - SIGNAGE TYPES

1. TWO-WAY COMMUNICATION SYSTEM INSTRUCTIONS - SEE B6/G504
2. STAIRWAY IDENTIFICATION SIGN - SEE A5/G504 - ROOF ACCESS
3. STAIRWAY IDENTIFICATION SIGN - SEE A5/G504 - NO ROOF ACCESS
4. FLOOR IDENTIFICATION SIGN WITH TACTILE FLOOR IDENTIFICATION SIGN - SEE C1/G504
5. ADA RESTROOM SIGN - SEE A2/G504
6. MAXIMUM OCCUPANCY SIGN - SEE E6/G504
7. TACTILE ELEVATOR OR STAIR SIGN - SEE A2/G504
8. TACTILE EXIT SIGN - SEE C3/G504
9. EGRESS DIRECTIONAL SIGN - SEE C6/G504
10. FAMILY RESTROOM DIRECTIONAL SIGN - SEE B7/G504
11. FAMILY RESTROOM SIGN - SEE C5/G504
12. ASSISTIVE LISTENING DEVICE SIGN (2 DEVICES TO BE PROVIDED) - SEE E4/G504
13. DIRECTIONAL EXIT SIGN - SEE D3/G504
14. ADA PARKING STALL - SEE C4/G504
15. TACTILE EXIT STAIR SIGN - SEE D6/G504

LEVEL 1 ROOM LEGEND

UNIT #	UNIT TYPE	ADA	Area
101	1 BED		519 SF
102	STUDIO		381 SF
103	1 BED		500 SF
104	STUDIO		381 SF
105	1 BED		500 SF
106	1 BED		500 SF
107	1 BED		500 SF
108	STUDIO		381 SF
109	1 BED		490 SF
110	1 BED		512 SF
111	1 BED		503 SF
112	1 BED		503 SF
113	1 BED		500 SF
114	STUDIO		381 SF
115	1 BED		500 SF
116	STUDIO		380 SF
117	1 BED		519 SF
Grand total: 17			

LEVEL 1 ROOM COUNT

UNIT	UNIT TYPE	COUNT
1 BED		12
STUDIO		5

TOTAL UNITS: 17

REV	DATE	DESCRIPTION
1	8-11-2020	5-27-2020
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TRADITION POINTE
1425 SOUTH JEFFERSON STREET
SALT LAKE CITY, UT 84115

BWA
ARCHITECTS
T 801.438.9500
F 801.438.9501
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121
BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
ZM
CHKD BY
Checker
SITE PLAN REVIEW

LEVEL 1 FLOOR PLAN

DRAWING NUMBER

A101

This drawing is an architectural rendering and is not a contract document. It is for informational purposes only and should not be used for construction or legal purposes. The design is subject to change without notice. The architect assumes no responsibility for the accuracy of the information provided. The architect's office is located at 3115 East Lion Lane, #200, Holladay, UT 84141. The architect's phone number is 801-438-9500. The architect's email address is info@bwaarchitects.com.

D



EXTERIOR MATERIALS LEGEND:

- 1 STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
- 2 STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
- 3 BRICK
- 4 FIBER COMPOSITE SIDING SYSTEM, VERTICAL ORIENTED
- 5 CONCRETE (VERTICAL BOARD FORM FINISH)
- 6 WOOD SIDING - OR ALUMINUM WOOD TYPE (SHIP LAP 9 1/2" x 12")
- 7 ALUMINUM BREAK METAL FASCIA / PARAPET CAP.
- 8 WIRE MESH RAIL

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C

TRADITION POINTE
1425 SOUTH JEFFERSON STREET
SALT LAKE CITY, UT 84115

B



T 801.438.9500
F 801.438.9501
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84141
BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
JMK
CHKD BY
JMK
SITE PLAN REVIEW

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A201

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C3
A202
SOUTH ELEVATION
1/8" = 1'-0"



A3
A202
NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND:

- 1 STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
- 2 STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
- 3 BRICK
- 4 FIBER COMPOSITE SIDING SYSTEM, VERTICAL ORIENTED
- 5 CONCRETE (VERTICAL BOARD FORM FINISH)
- 6 WOOD SIDING - OR ALUMINUM WOOD TYPE (SHIP LAP 9 1/2" x 12")
- 7 ALUMINUM BREAK METAL FASCIA / PARAPET CAP.
- 8 WIRE MESH RAIL

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BEECHERWALKER.COM

PROJECT NUMBER
Project Number
DWN BY
JM
CHKD BY
Checker
SITE PLAN REVIEW

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A202

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ISS. DATE	ISS. DESCRIPTION
8-11-2020	SITE PLAN REVIEW
5-27-2020	SD SET

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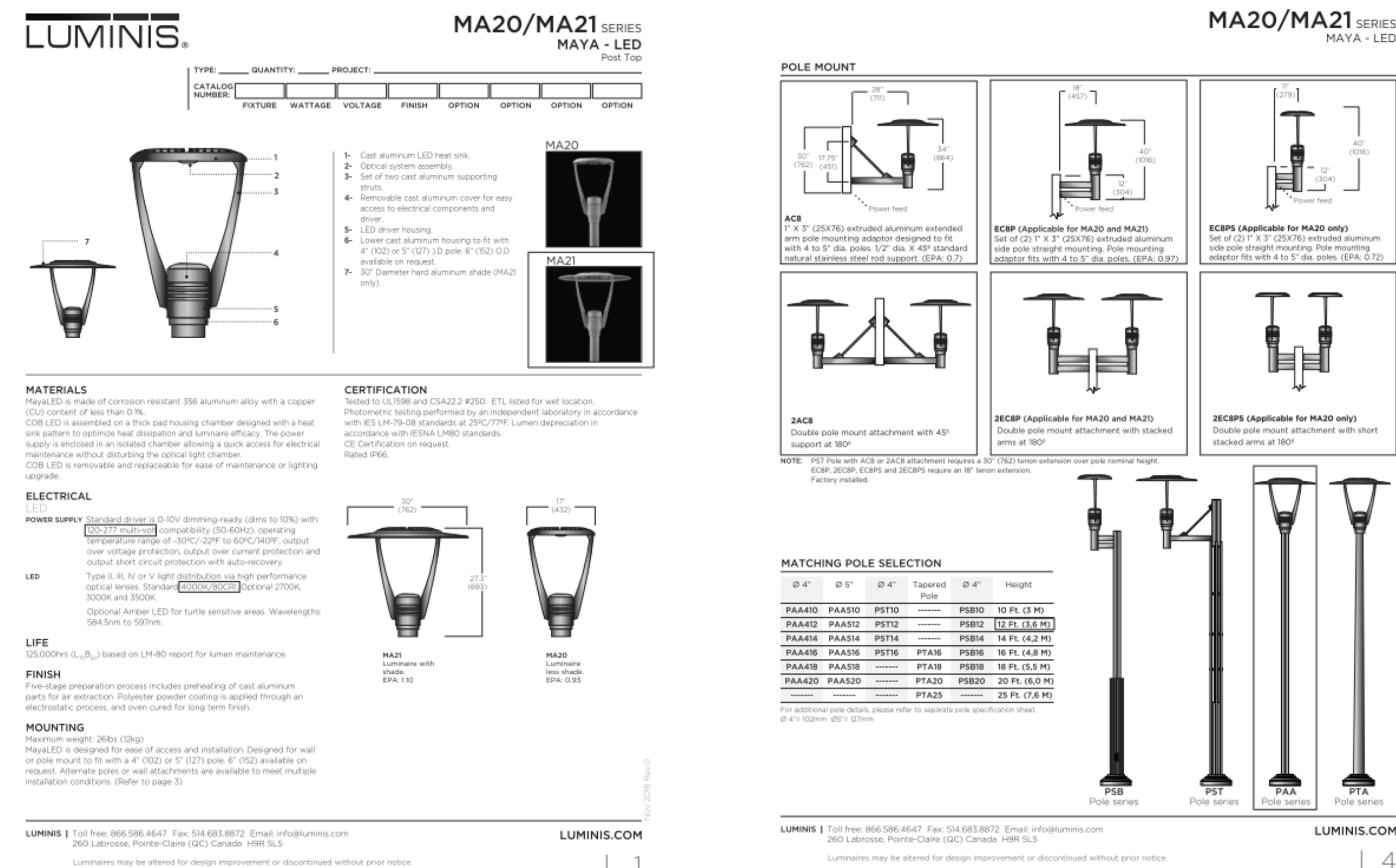
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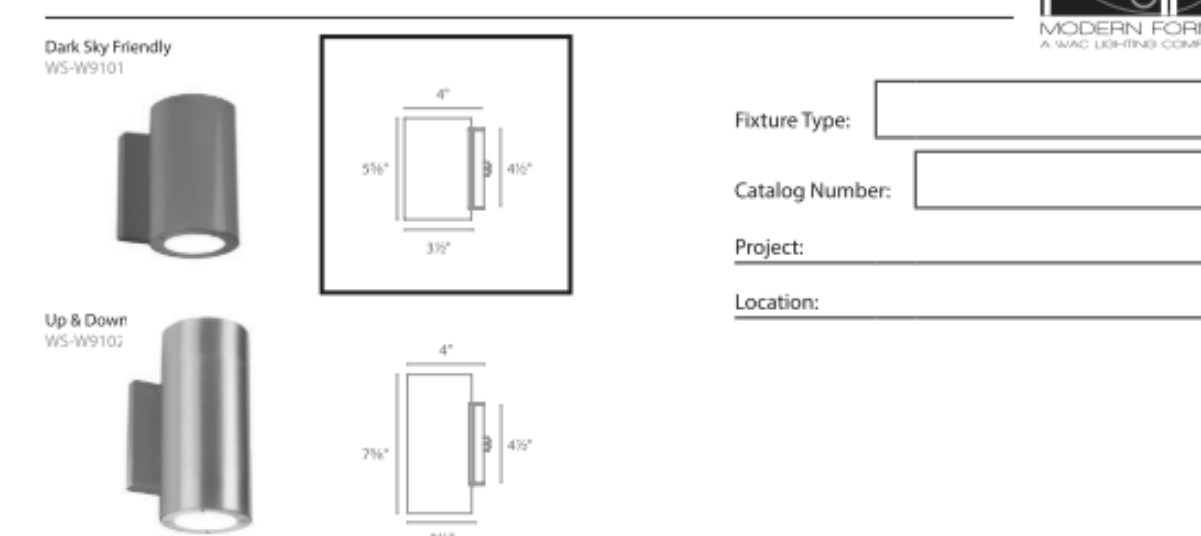
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1	SU SET	5-27-2020			



VESSEL—model: WS-W91
LED Outdoor



TYPE W1

ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Birdseye view of property



View of subject property looking south down Jefferson Street



Development to the east of subject property (along 1400 South)



Properties to the west (across Jefferson Street)



Properties to the north (across 1400 South)

ATTACHMENT D –ZONING ANALYSIS

CG Development & Design Standards

Requirement	Standard	Proposed	Compliance
Lot Area/Lot Width	10,000 square feet/60 FT wide	Lot Area – 19,602 square feet Lot Width – 155 FT	Complies
Front/Corner Side Yard -	10 FT/10 FT	10 FT/10FT	Complies
Side/ Rear Yard	0 FT/10 FT	15 FT/10 FT	Complies
Maximum Height	60 FT or up to 90 FT when approved through Design Review	74 FT	Complies: Pending Planning Commission approval for additional height in accordance with Design Review standards
Buffer Yard (adjacent to residential)	15 FT	15 FT	Complies
Landscape Yard	10 FT on all front or corner yards	10 FT	Complies
Design Standards	Development shall comply with the following design standards in chapter 21A.37 1. Building entrances (at least 1 operable opening per street-facing façade) 2. Parking lot lighting must be shielded to adjacent residential properties.	1. 1 per street facing façade. 2. Parking lot is interior to building and exterior lighting is downlit.	Complies: The Commission will need to determine whether the proposed entrance is considered an operable opening, or if the opening needs to lead into occupiable space as recommended by Staff.
Off-Street Parking Requirements	<u>Minimum</u> – .5 stalls per studio unit, 1 stall per 1 bed unit (67 total for this project) <u>Maximum</u> - 25% more than minimum (83 for this project) <u>Electric Vehicles</u> - 1 stall per 25 vehicles <u>Bike Parking</u> - 5% of total parking provided	<ul style="list-style-type: none"> • 75 total stalls provided • 4 electric vehicle stalls provided • 8 bike parking stalls provided 	Complies

ATTACHMENT E – DESIGN REVIEW ANALYSIS

21A.59.050: Standards for Design Review: For applications seeking modification of base zoning design standards, applicants shall demonstrate how the applicant's proposal complies with the standards for design review that are directly applicable to the design standard(s) that is proposed to be modified. The standards below have been identified as most closely related to the request for additional building height.

Standard	Finding	Rationale
<p>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</p>	<p>Complies</p>	<p>The purpose statement for the CG zone primarily focuses on objectives for commercial properties but does include a statement on the desire for a mix of land uses which provide economic development opportunities.</p> <p>The apartment building proposed will add much needed housing to the area and will provide additional potential patrons for local businesses.</p> <p>Discussion on compliance the intent of adopted citywide and neighborhood master plans can be found in item #1 of the Key Considerations of this report.</p>
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, 	<p>Complies with staff recommendations</p>	<ol style="list-style-type: none"> 1. The proposed building is taller than others in the area, but as discussed in item #2 of the Key Considerations section of this report, adjacent zoning designations give the potential for the area to develop at or above the height proposed, with exception to the RMF-35 properties the east. The architecture of the building puts emphasis on the pedestrian scale and includes elements which will relate the building to surrounding development. 2. The building is well modulated in that it uses materials and protruding or inset surfaces to create distinct vertical and horizontal elements. The elements help relate the building to the nearby buildings including the 4-story apartments to the west and south and the nearby 6-story apartment building to the northeast. The visual height of the building is reduced through the inclusion of pedestrian scale features such as metal awnings, a prominent

<p>fenestration and window reveals.</p> <p>4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.</p>		<p>cornice, and richer materials along the base level.</p> <p>3. The building includes balconies on all sides that help balance the solid-to-void ratio with other buildings in the neighborhood. It uses projections, material changes, and window reveals to break up solid surfaces and to create visual interest.</p> <p>4. The ground-level façade facing Jefferson Street includes solid surfaces and storefront windows that relate well to the surrounding neighborhood. The ground-level façade that faces 1400 South primarily consists of the horizontal openings and solid surfaces of the parking garage. Staff is recommending that the ground-level façade be revised to include elements that better reflect the solid-to void ratio of buildings within the neighborhood.</p>
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts:</p> <p>1. Human scale:</p> <p>a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</p> <p>b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</p> <p>2. Negative impacts:</p> <p>a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</p> <p>b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that</p>	<p>Complies</p>	<p>1. The building is proposed with a well-defined base, middle, and top section, particularly along the front of the building. The base includes additional use of wood siding, which gives texture and warmth to the ground level. The ground level also includes large glass storefront windows which look into the leasing office. Metal awnings are placed above the first level to create a more pedestrian scale to the building.</p> <p>The base includes a more consistent application of building materials including brick and stucco. The window size and alignment give uniformity to the middle section.</p> <p>Protruding cornices at the top of the building create a termination point that reduce the apparent height of the building.</p> <p>2. The building includes a deep inset on the third level that will function as an open-air courtyard for the residents. That feature will also act as a wind break. All sides of the building include projections and insets that will help</p>

<p>are subject to the request for additional height.</p> <p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		<p>create wind breaks along public spaces. The building is also setback 10' along the public way and will include landscape materials, which will reduce potential impacts of the building on the public way.</p> <p>There is a 14' wide public alley that borders the property to the east. The alley provides an additional separation from the properties, which are zoned RMF-35. This additional separation has the same effect as would a 14' stepback in the building façade. In essence, the additional height will have the same impacts as would a 60' tall building (built by right) that did not include the alley.</p> <p>Shadow impacts have not been provided for the building; however, it is anticipated that the additional 14' height would not create substantial impact on the surrounding areas.</p> <p>3. The design of the building features vertical fins that run from the base of the building and turn at a right angle to become a predominant cornice feature. The element creates a sense of cohesion in the building form. The roofline is higher at the front corners of the building and steps down towards the center, creating a feeling of balance.</p>
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ATTACHMENT F – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- October 7, 2020 – 45-day notice of the project was provided to the Ballpark Community Council, other recognized community organizations, as well as property owners and residents within 300 feet of the proposal.
- November 5, 2020 – The Ballpark Community Council hosted a virtual meeting to discuss the proposal. The applicant presented the project and Community Council leaders and residents commented on the project. The project was largely well received, but the concerns expressed are summarized below:
 - One neighbor objected to the additional height as it would create shadows that may affect the effectiveness of solar panels on neighboring properties.
 - Another neighbor expressed the desire that the project include 10% affordable units.
 - The Ballpark Community Council was primarily concerned with the pedestrian experience, particularly the pedestrian level lighting.

Staff Response:

- The property is allowed a height of 60' by right and up to 90' through Design Review. The properties to the west and north are located across a street and would be eligible for the same height considerations and therefore would not be affected by shadows from the proposed building. The properties to the east are zoned RMF-35 which has a maximum building height of 35'. Those properties would be affected by afternoon shadowing from the proposed building whether at the base 60' height or the proposed 74' height.
- There is not currently a requirement for a certain percent of the units to be considered affordable.
- Street level lighting has been included as part of the latest plans submitted.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on March 4, 2021
- Public notice posted on City and State websites and Planning Division list serve on March 4, 2021
- Public hearing notice sign posted on the property March 4, 2021

Public Input:

- March 3, 2021 - Staff spoke with a neighboring property owner on the phone and received the following written comment:

We are the owners of a duplex located [REDACTED] [neighboring] the subject property, Tradition Pointe Apartments at approximately 1425 S. Jefferson Street. We are pleased with the growth and improvements in Salt Lake City. But we have a few concerns with the introduction of such a large complex being constructed [REDACTED] [within] feet from our property.

**The height of the building.*

**The possible construction vibration damage to our property and to our neighbors.*

**Increased traffic and parking pressures along with Ball Park activity. Concerns over access for us and our tenants to our property.
(i.e. parking)*

Staff Response:

- The proposed height is discussed throughout the staff report.
- Potential impacts due to construction activity should be addressed with City review departments during the building permit process.
- The proposed parking exceeds the minimum parking required for the proposed use (75 stalls where 67 are required). Although the additional height does allow for more units, it would not change the parking required per dwelling unit. The proximity to multiple forms of public transit and the array of land uses in the neighborhood make this property a good candidate for the parking ratios provided.

ATTACHMENT G – DEPARTMENT REVIEW COMMENTS

PLANNING DIVISION COMMENTS

Comments by: Eric Daems

Email: eric.daems@slcgov.com

Phone: 801-535-7236

Status: No Corrections*

Comments from Planning were all corrected with the 2nd submittal of plans.

PUBLIC UTILITIES DIVISION COMMENTS

Comments by: Jason Draper

Email: Jason.draper@slcgov.com

Phone: 801-483-6751

Status: Make Corrections

1. No objection to additional height.
2. Fire flow and demands will need to be evaluated as part of the building permit process.
3. The proposed plans are for information only and not reviewed for building or utility development permit.
4. Plan does not meet current standards and policies. Compliance or variance will be required for utility and building permit.
5. Unused sewer and water services must be capped at the main.

ENGINEERING DIVISION COMMENTS

Comments by: Scott Weiler

Email: scott.weiler@slcgov.com

Phone: 801-535-6159

Status: No objections to additional height

1. See attached redlines

TRANSPORTATION DIVISION COMMENTS

Comments by: Michael Barry

Email: Michael.barry@slcgov.com

Phone: 801-535-7147

Status: No objections

1. Transportation has no objection to the additional height requested. It appears that the proposed parking plan satisfies the minimum parking requirements and ADA requirements. It appears that there are no EV parking spaces provided; EV parking is required at a rate of 1 per 25 parking spaces. Bicycle parking is also required. The City letter provided states that the CG has a parking ratio of 0.5 spaces per unit, but the ratio in the CG is the normal amount per Table 21A.44.030; however the minimum parking requirement is still satisfied. On street parking shall be parallel parking instead of the existing 90 degree parking on Jefferson St. The building must meet sight distance requirements of 21A.40.120.E, including corner lot sight distance triangle and intersection of driveway sight distance triangle.